



CITY OF MONROE

MEMO

TO: Monroe Heritage Preservation Members
FROM: Alyeasha C. Clay
DATE: September 20, 2024
RE: Monroe Heritage Preservation Commission Meeting

Attention! Fellow board members, we have a very important SPECIAL meeting scheduled for **Thursday, October 3, 2024 @ 6:00 P.M.** The meeting will be held in the Monroe City Hall Building, 1ST Floor, in City Council Chambers.

MINUTES:

Approval of August 22, 2024 minutes

TENATIVE SCHEDULE:

HIS 105-24: Land 3 Architects/Ouachita Parish Courthouse – 301 & 400 St. John Street – Don Juan Filhiol Historic District
Presentation by Land 3 Architect regarding the Ouachita Parish Courthouse and Annex buildings, for exterior building restoration. The property is located within the Don Juan Filhiol Historic District. The property is located in the CBD (Central Business) District.

OTHER BUSINESS:

None

CITIZEN PARTICIPATION:

Citizens will be recognized, in order, by the citizen sign-in sheet.

***Please take a moment out of your busy schedules to call this office and confirm whether or not you will be able to attend this review meeting. Please call Alyeasha 329-2210. Again, we need a majority of the members in order to have a qualifying vote. ***It is imperative that we have a quorum. ***

Please bring your copy of the Monroe Heritage Preservation Commission by-laws, Rules and Procedures and the ordinance for future referencing throughout the meeting session.

City of Monroe
Heritage Preservation Commission

CASE NUMBER: HIS 105-24
NAME: LAND 3 ARCHITECTS/OUACHITA PARISH
COURTHOUSE
ADDRESS OF PROPERTY: 301 & 400 ST. JOHN STREET
HISTORIC DISTRICT: DON JUAN FILHIOL HISTORIC DISTRICT

REQUEST:

This is a presentation by Land 3 Architects regarding their intentions to do renovations to the Ouachita Parish Courthouse and Annex buildings, located at 301 and 400 St. John Street. This project is a proposal to do exterior restoration to both buildings, without changing the integrity of the buildings.

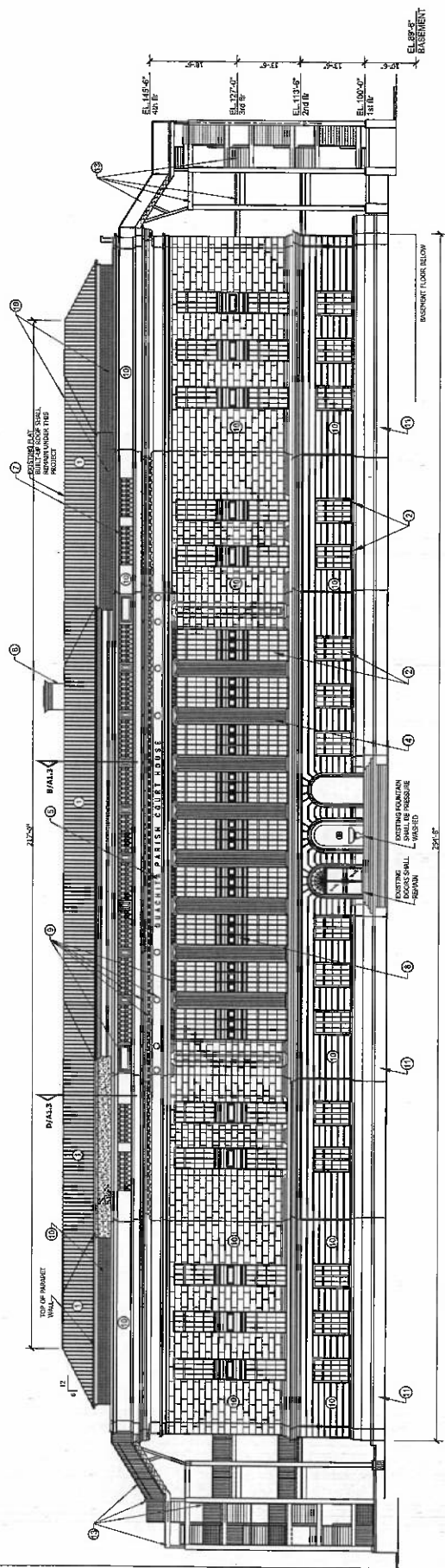
The changes would be implemented in a way to maintain the aesthetics and historic district.

The purpose of the request is to allow the applicant to:

- Clean & repaint all the existing metal roof panels and window frames;
- Clean and restore all existing stone columns, decorative stone features, moldings, balusters;
- Clean and apply weather-proof sealant to existing windows and insulated panels;
- Clean, repair, re-point and restore all existing masonry;
- Lastly clean and paint the exterior stairs.

The existing color of the metal roof panels, and window frame colors will remain the same. They will be updated accordingly.

See attached plans for project improvements as noted, by Land 3 Architects. This packet includes details, colors, and material for the proposed project.

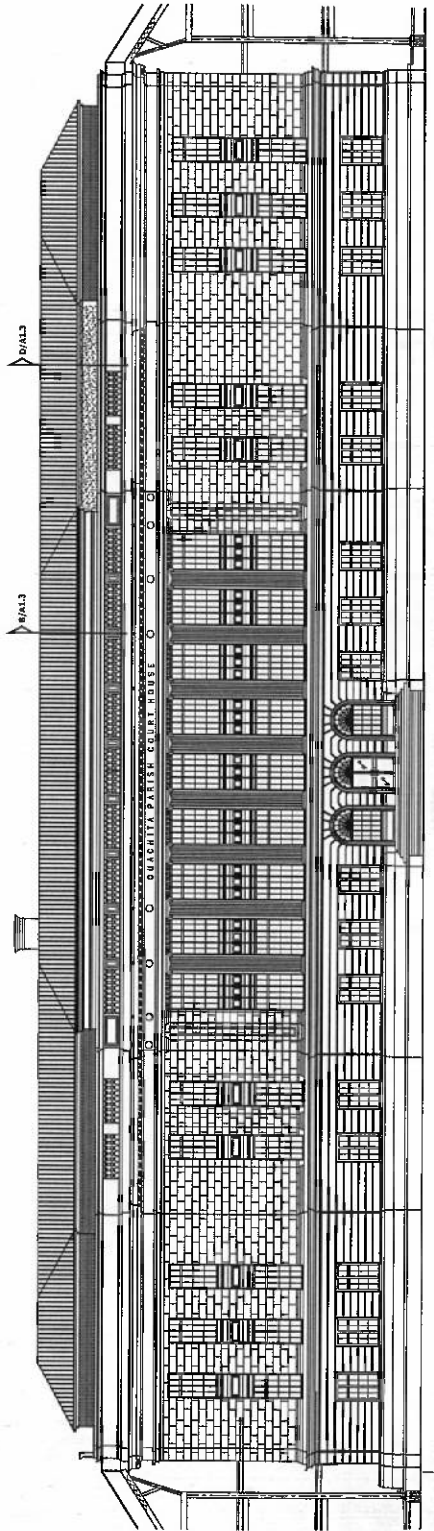


EAST ELEVATION - (ST. JOHN STREET)
SCALE: 3/32" = 1'-0"

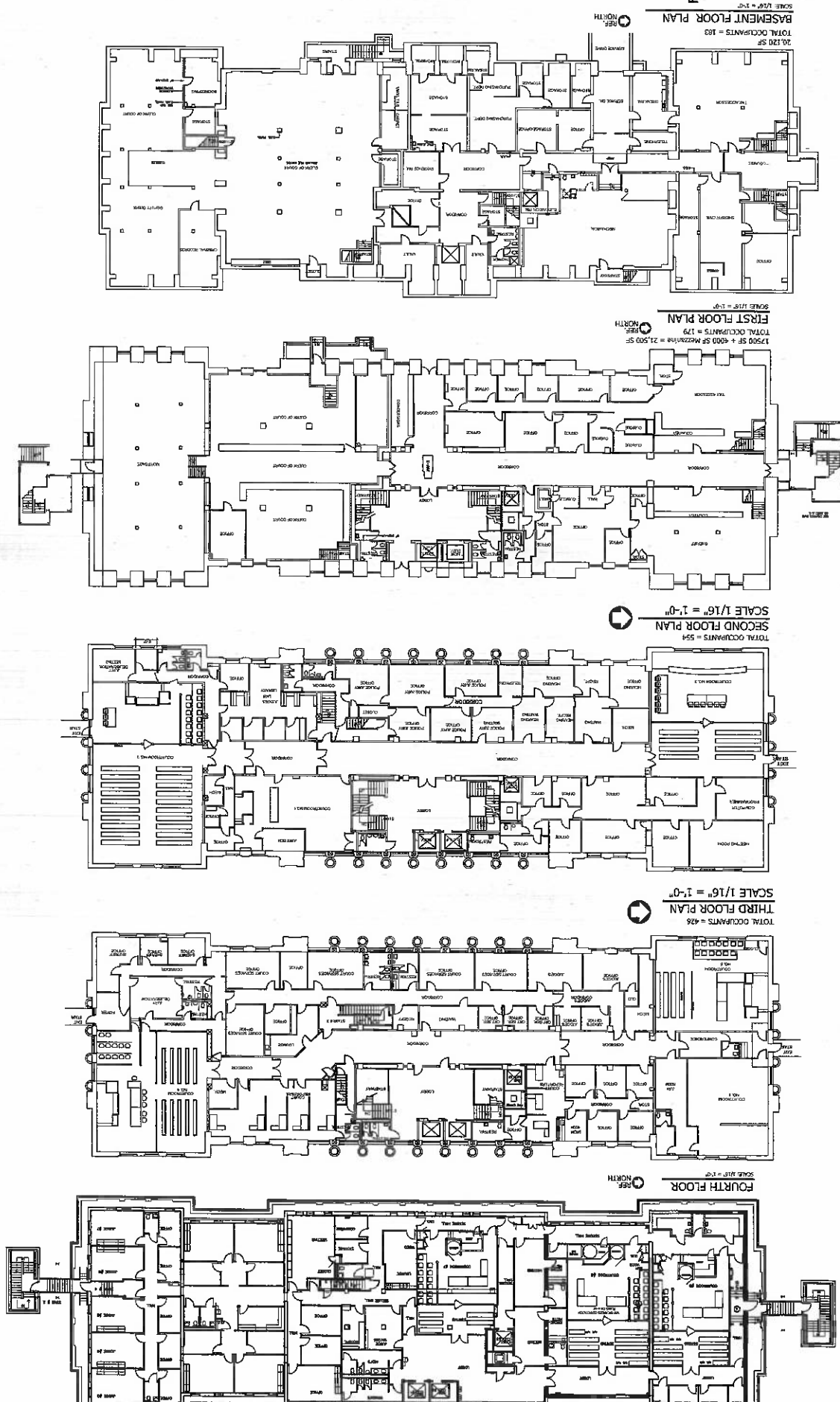
**MASONRY RESTORATION
GENERAL NOTES:**

- REFER TO SECTION 0410 30 IN SPECIFICATIONS FOR MASONRY RESTORATION REQUIREMENTS.
- REMOVE ALL DEGRADED MORTAR & REPAIR BY MATCHING EXISTING MORTAR. MATCH TO ADJACENT MATERIAL.

- REF. NOTES:**
1. EXISTING EXTERIOR MASONRY SHALL BE REPAIRED TO ORIGINAL CONDITION. ALL REPAIRS SHALL BE MATCHED TO EXISTING MATERIALS. REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 0410 30 IN SPECIFICATIONS.
 2. ALL EXISTING MASONRY SHALL BE REPAIRED TO ORIGINAL CONDITION. ALL REPAIRS SHALL BE MATCHED TO EXISTING MATERIALS. REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 0410 30 IN SPECIFICATIONS.
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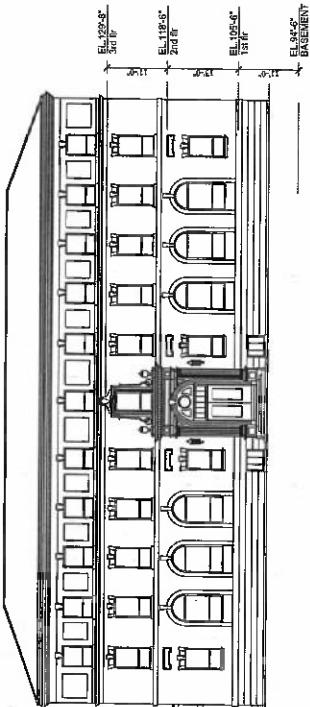


WEST ELEVATION - (SOUTH GRAND STREET)
SCALE: 3/32" = 1'-0"





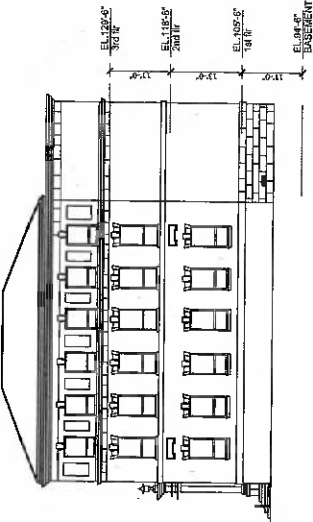
EXISTING METAL
ROOF PANELS
ROOF PANELS SHALL
BE REPAIRED OR
REPLACED. ALL METAL
ROOF PANELS SHALL
BE PAINTED PER
SECTION 05 10 00.



EAST ELEVATION
SCALE: 3/32" = 1'-0"

EXISTING FLAT ROOF
SHALL REMAIN THIS
PROJECT.

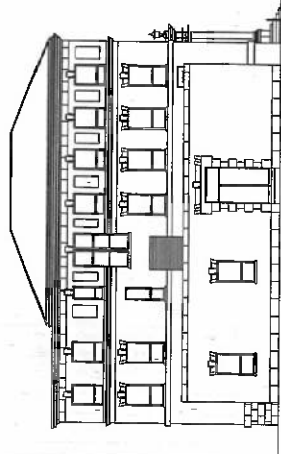
EXISTING EXTERIOR
DOORS SHALL REMAIN



NORTH ELEVATION
SCALE: 3/32" = 1'-0"

EXISTING FLAT ROOF
SHALL REMAIN THIS
PROJECT.

EXISTING METAL
ROOF PANELS SHALL
BE REPAIRED OR
REPLACED. ALL METAL
ROOF PANELS SHALL
BE PAINTED PER
SECTION 05 10 00.



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

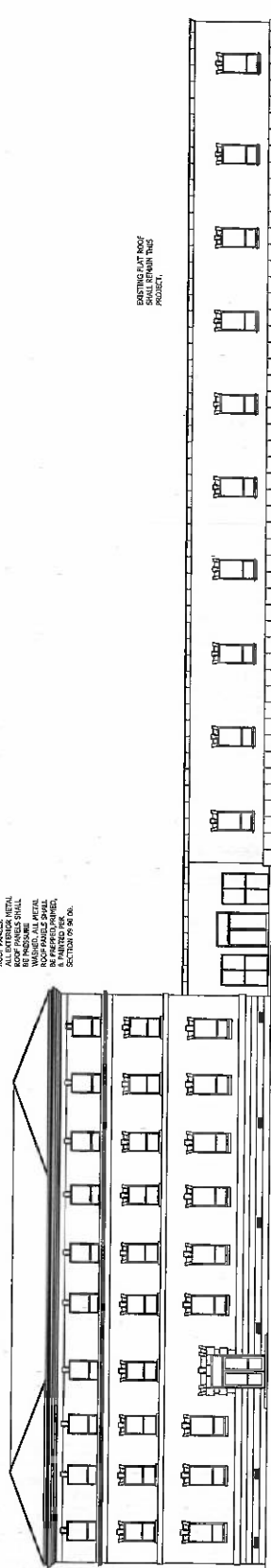
REPAIR & REPLACE
SUBMIT RE ALL
WORK TO BE
REPAIRED OR
REPLACED PER
SECTION 05 10 00.

EXISTING EXTERIOR
DOORS SHALL REMAIN

EXISTING STAIR
WALK TO BE
REPAIRED OR
REPLACED PER
SECTION 05 10 00.

ALL EXTERIOR AND
INTERIOR SURFACES
SHALL BE PAINTED
PER SECTION 05 10 00.
BY THE CONTRACTOR.

EXISTING FLAT ROOF
SHALL REMAIN THIS
PROJECT.



WEST ELEVATION
SCALE: 3/32" = 1'-0"

VICINITY MAP NOT TO SCALE



OUACHITA
PARISH
COURTHOUSE

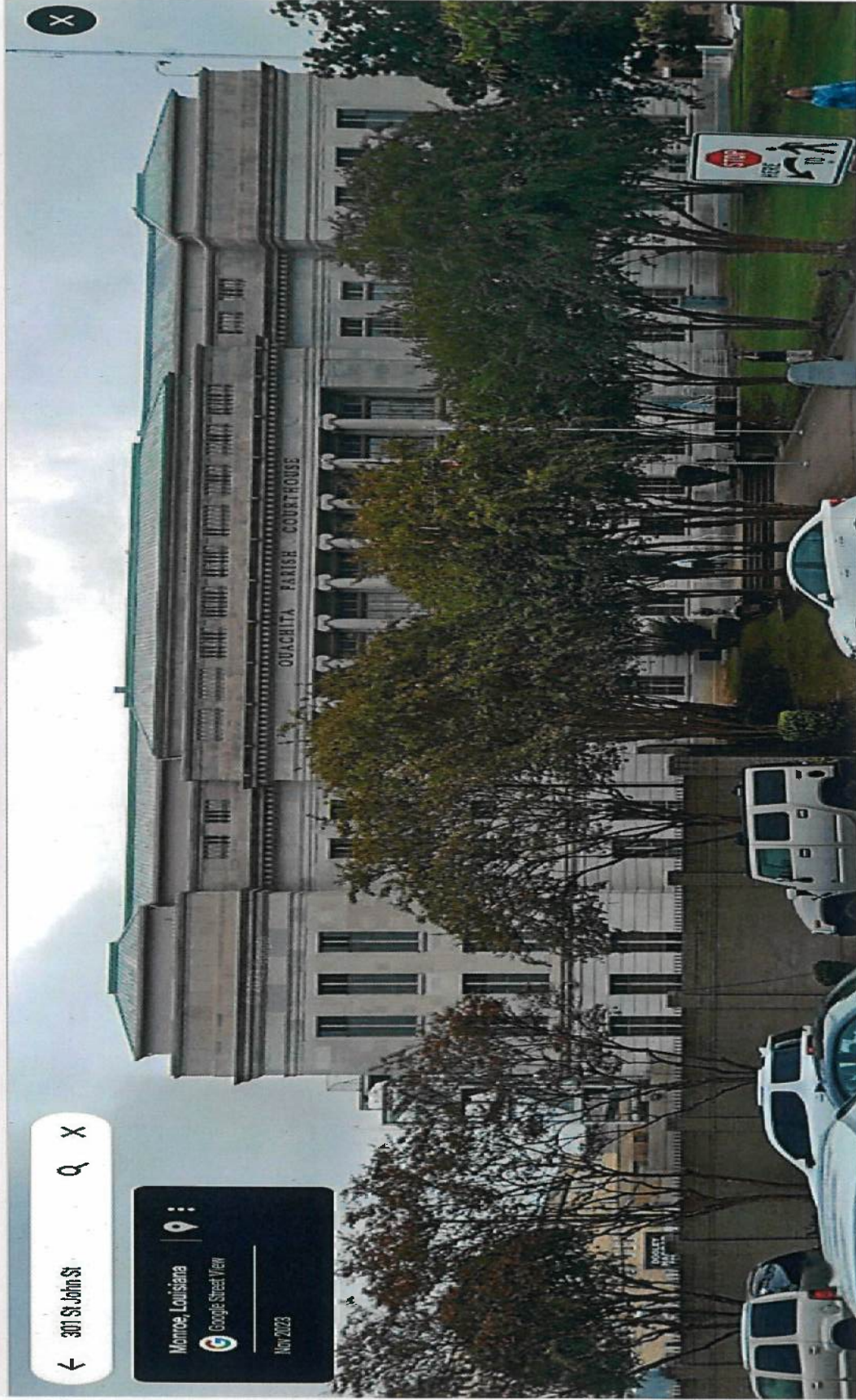
OUACHITA
PARISH
COURTHOUSE
ANNEX



Aerial View

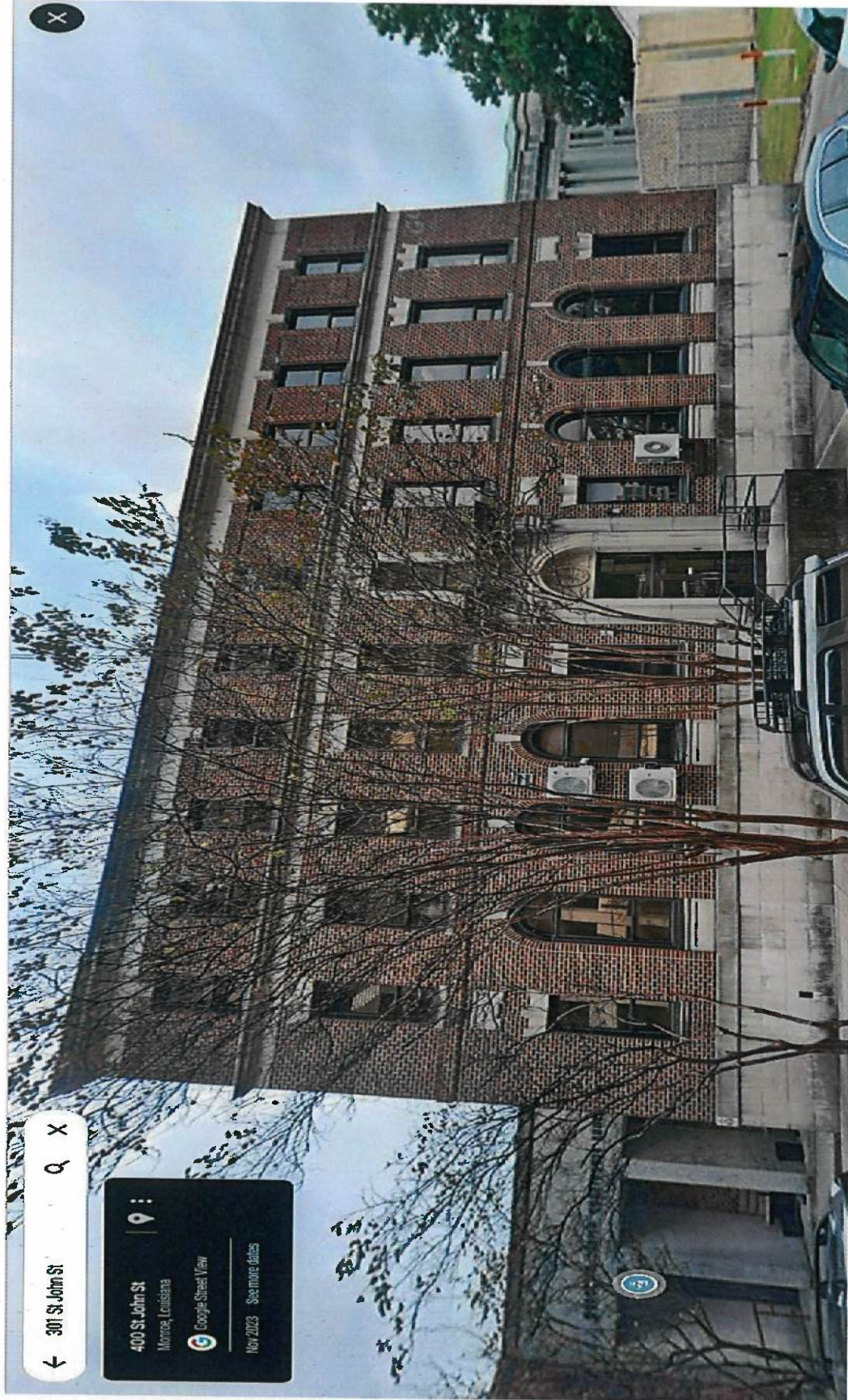
Ouachita Parish Courthouse & Annex Bldgs.

301 & 400 St., John Street



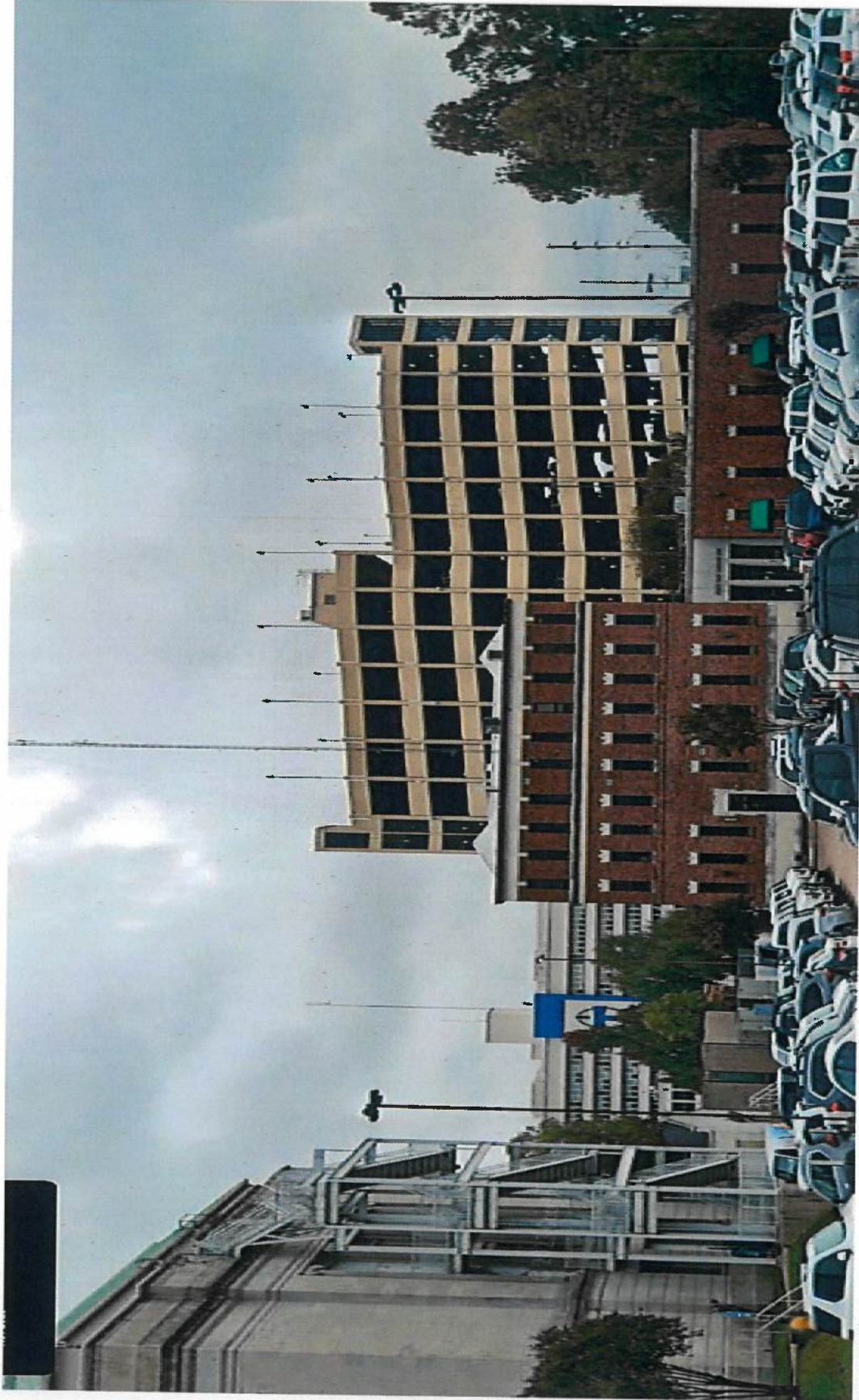
Ouachita Parish Courthouse Bldg. (East Elevation)

301 St. John Street



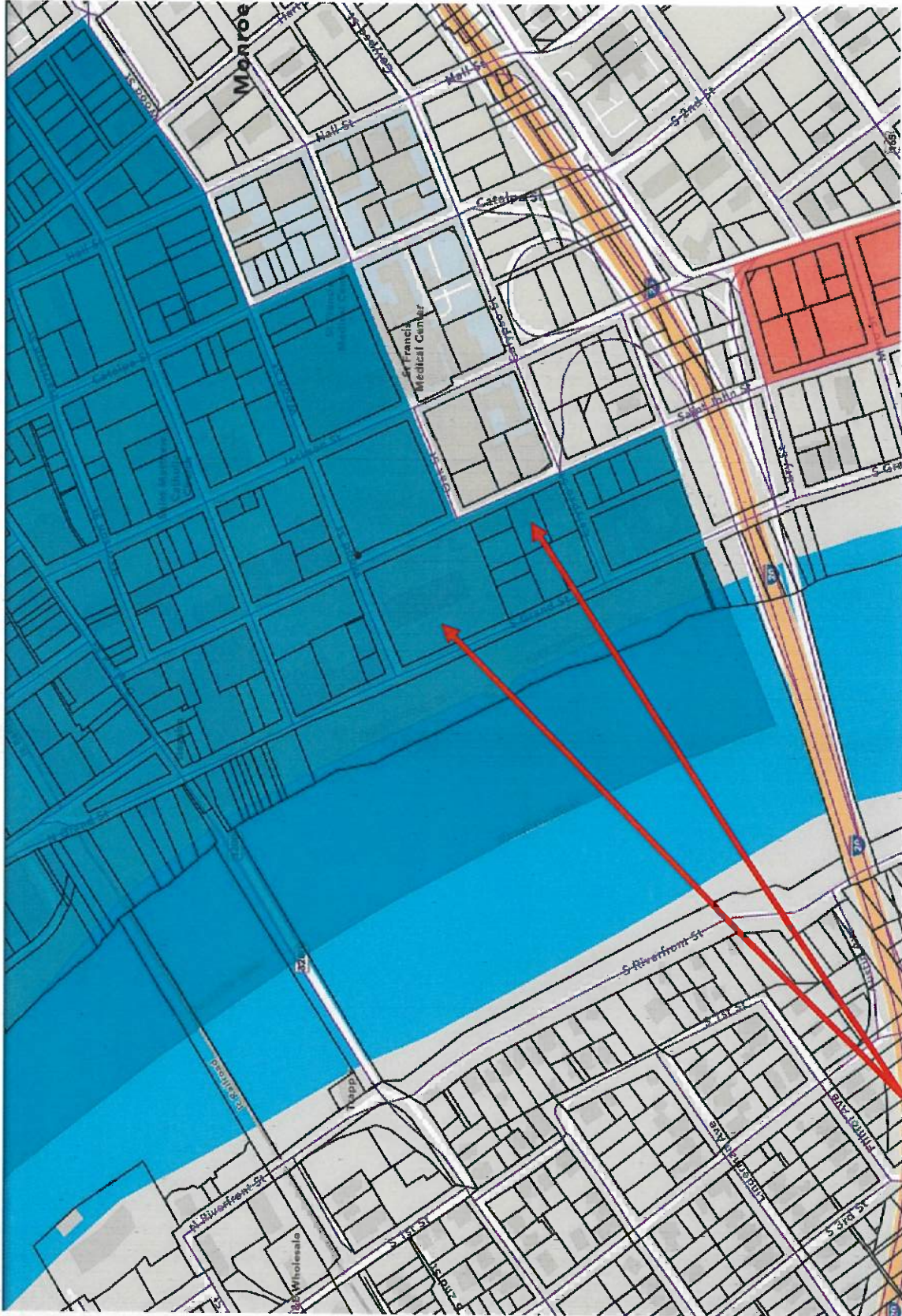
Ouachita Parish Annex Bldg. (East Elevation)

400 St. John Street



Ouachita Parish Annex Bldg. (West Elevation)

400 St. John Street



Proposed Site